

TABLE OF DIMENSIONAL REQUIREMENTS
ZONE: (R-35)

USE GROUP	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT)	35,000	23063.06*	23063.06*
LOT WIDTH (FEET)	150	128.28*	128.28*
FRONT SETBACK (FEET)	50	60.70	60.70
FRONT YARD (FEET)	50	50.00	50.00
SIDE SETBACK (FEET)	25	36.10	36.10
TOTAL SIDE SETBACK (FEET)	60	72.40	72.40
SIDE YARD (FEET)	20	20.00	9.5**
REAR SETBACK (FEET)	50	66.50	66.50
REAR YARD (FEET)	20	58.77	58.77
STREET FRONTAGE (FEET)	100(50%)	66.98	66.98
MAXIMUM HEIGHT (FEET)	2 STORIES	2 STORIES	2 STORIES
DEVELOPMENT COVERAGE MAX. (%)	30	21.19	26.23
FLOOR AREA RATIO (FAR)	0.20	0.20	0.22**
ACCESSORY SIDE SETBACK (FEET)	25	-	25.00
PARKING SPACES	7	-	5**
PRIVACY FENCE (HEIGHT) PER 195-19	6	-	6

*EXISTING CONDITION GRATED 12/19/2024
**VARIANCE GRANTED 12/19/2024

MINIMUM LOT AREA CALCULATIONS

DESCRIPTION	AREA (SF)
A GROSS LOT AREA	46,072.33
EXISTING BUILDING AREA	2,451.07
SHADE TREE EASEMENT	349.30
B DRAINAGE EASEMENT	1,150.01
100-YR FLOOD AREA	16,927.41
75% OF AREA WITH SLOPES BETWEEN 15-20%	3,232.66
50% AREA WITH SLOPES BETWEEN 20-25%	1,699.20
MINIMUM LOT AREA(A-B):	23,063.06

EXISTING COVERAGE

IMPERVIOUS AREA	AREA (SF)
EXISTING DWELLING	2,451.07
ASPHALT DRIVEWAY	2,027.56
CONCRETE WALKWAY	183.65
CONCRETE PAD	77.25
HOT TUB	63.81
SHED	82.93
TOTAL	4,886.27

LOT AREA 23,063.06
EXISTING COVERAGE 21.19

PROPOSED COVERAGE

IMPERVIOUS AREA	AREA (SF)
EXISTING DWELLING	2,451.07
PROPOSED MIKVAH	374.00
ASPHALT DRIVEWAY	2,815.76
CONCRETE WALKWAY	183.65
CONCRETE PAD	77.25
HOT TUB	63.81
SHED	82.93
TOTAL	6,048.47

LOT AREA 23,063.06
PROPOSED COVERAGE 26.23

NOTES:

- BOUNDARY AND TOPOGRAPHY TAKEN FROM SURVEY BY WILLIAM T. MANNING, P.L.S. LIC NO. 50388 FROM PAX SURVEYING & ENVIRONMENTAL CONSULTANTS, LLC. DATED JANUARY 24, 2024.
- WETLANDS HAVE BEEN DELINEATED BY WILLIAM T. MANNING.
- ELEVATION DATUM PER NAVD 88
- THIS PROJECT IS LOCATED ON 8 HENRY COURT ALSO KNOWN AS SBL 48.10-1-36
- THE PROPOSED WORSHIP IS A REPURPOSING PORTION OF THE EXISTING DWELLING.
- OWNER: JACOB LEITNER, 8 HENRY COURT, SUFFERN NY 10901
- THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA PROVIDED BY OTHERS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION THAT ARE TO REMAIN IN SERVICE. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE EXISTING GAS AND ELECTRIC UTILITIES MUST BE LOCATED AND MARKED BEFORE CONSTRUCTION CAN START.
- IT IS RECOMMENDED TO USE LEAF GUARD OR A SIMILAR PRODUCT ON ALL OUTLETS.
- EXISTING UTILITY CONNECTIONS WILL BE UTILIZED.
- NO SPACE WITHIN THE RESIDENTIAL GATHERING PLACE MAY BE RENTED OUT TO OR UTILIZED FOR MEETINGS OR FUNCTIONS, NOT DIRECTLY CONVENED OR HOSTED BY THE RESIDENTS OF PRINCIPAL ONE-FAMILY DETACHED RESIDENCE.
- THE RESIDENTIAL GATHERING PLACE WAS DESIGNED IN ACCORDANCE WITH THE VILLAGE OF MONTEBELLO CODE §195-79.1 AND MEETS ALL REQUIREMENTS AS SET FORTH IN THE CODE.
- THIS RESIDENTIAL GATHERING PLACE WILL BE ATTENDED BY 15 CONGREGANTS ALL WITHIN WALKING DISTANCE. IT WILL BE IN USE ON SATURDAYS AND JEWISH HOLIDAYS. IT WILL BE OPEN FRIDAY AFTERNOON FROM SUNSET TO 2 HOURS AFTER, SATURDAY MORNING FROM 9 AM TO 12 PM, AND SATURDAY EVENING FROM SUNSET TO NIGHT. NO ON-SITE CATERING IS PROPOSED. NO SPECIAL EVENTS WILL OCCUR OUTSIDE OF THE USUAL OPERATIONAL HOURS.

Zoning Districts

- ER-80 Estate Residential (80,000 Sq. Ft.)
- RR-50 Rural Residential (50,000 Sq. Ft.)
- R-35 Low-Density Residential (35,000 Sq. Ft.)
- R-25 Low-Density Residential (25,000 Sq. Ft.)
- R-15 Medium-Density Residential (15,000 Sq. Ft.)
- RSH Residential Senior Citizen
- RA-H Medium-Density Affordable Housing
- R59-DD Route 59 Development
- EP Estate Preservation
- LO Laboratory Office
- LO-C Laboratory Office-Campus
- NS Neighborhood Shopping
- OSR Open Space-Recreation
- PI Planned Industry
- PI-C Planned Industry-Campus
- HSR Historic & Scenic Roads Overlay
- RP Rural Preservation Overlay



ZONE MAP NTS



VICINITY MAP NTS

MAXIMUM FLOOR AREA RATIO (FAR)

LOT	AREA (SF)
SBL 48.10-1-36	23,063.06

BUILDING STORIES	AREA (SF)
FIRST FLOOR	2,451.07
SECOND FLOOR	2,256.23
TOTAL	4,707.30

MAXIMUM FLOOR AREA RATIO (FAR) (EXISTING) 0.20

MAXIMUM FLOOR AREA RATIO (FAR)

LOT	AREA (SF)
SBL 48.10-1-36	23,063.06

BUILDING STORIES	AREA (SF)
FIRST FLOOR	2,451.07
SECOND FLOOR	2,256.23
MIKVAH	374.00
TOTAL	5,081.30

MAXIMUM FLOOR AREA RATIO (FAR) (PROPOSED) 0.22

Legend

- Montebello Parcels
- W-EPOD River & Streams
 - Class A - Mahwah River
 - Mahwah River Buffer - 150 feet
 - Class B Stream
 - Class B Stream Buffer- 100 feet
 - Class C Stream
 - Class C Stream Buffer - 75 feet
- W-EPOD Wetlands
 - Wetland
 - Wetland Buffer - 100 feet



RIVER & STREAM MAP NTS

FEMA INFO:

MAP NUMBER: 36087C0069G
EFFECTIVE DATE: MARCH 03, 2014
FLOOD PROFILE: MAHWAH RIVER
BF(100YR)=320.00 FT

LEGEND:

MAHWAH RIVER BUFFER (150FT)

PARKING REQUIREMENTS:

- 2 SPACES PER EXISTING RESIDENTIAL USE TO REMAIN
- 3 SPACES PER PROPOSED PLACES OF WORSHIP, RESIDENTIAL GATHERING PLACES CALCULATED PER ACTUAL OCCUPANCY OF 15 CONGREGANTS. 5 SPACES REQUIRED WHEN CALCULATED BY MAX OCCUPANCY OF 28.

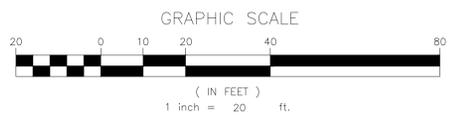
SPACES REQUIRED=7
SPACES PROVIDED=5

DOOR SCHEDULE:

(D1) DOOR TO THE FIRST FLOOR

SHEET INDEX:

- SITE PLAN
- DEMOLITION PLAN
- GRADING PLAN
- DRAINAGE PLAN
- UTILITY PLAN
- LIGHTING PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- TRAFFIC PLAN 1
- TRAFFIC PLAN 2
- DETAILS SHEET



NO.	REVISION	DATE	DR/CK
6	REVISED ZONING USE GROUP	7/04/2024	YB
5	GENERAL REVISIONS	7/01/2024	YB
4	REVISED FOR ZONING BOARD APPLICATION	5/29/2024	JH
3	REVISED PER LETTERS AND ORD MEETING ON 05/01/2024	5/23/2024	JH
2	REVISED PER VILLAGE COMMENTS 04/18/2024	4/19/2024	JH
1	REVISED TO ADD MIKVAH	4/16/2024	YB

JOSIP MEDIC, PE

379 BROOKFIELD DR.
JACKSON, NJ 08527
LIC. 103757
NY 845-666-0155
NJ 732-523-2289
E-MAIL INFO@TERRANVC.COM

JOSIP MEDIC, P.E. LIC. 103757 DATE

SITE PLAN

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

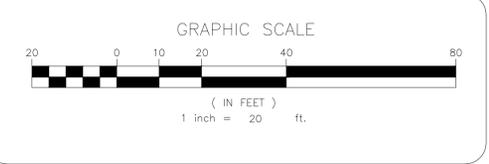
8 HENRY CT

8 HENRY COURT, VILLAGE OF MONTEBELLO
ROCKLAND COUNTY, NEW YORK 10901
SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
01 OF 10	1"=20'	24135	08/09/2024



NUMBER OF TREES TO BE REMOVED: 5



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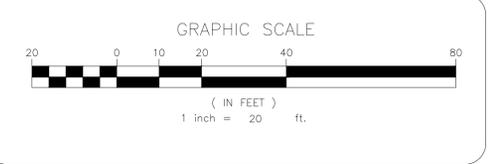
JOSIP MEDIC, P.E. LIC. 103757 DATE _____

DEMOLITION PLAN

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

8 HENRY CT
 8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
02 OF 10	1"=20'	24135	08/09/2024



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JOSIP MEDIC, PE

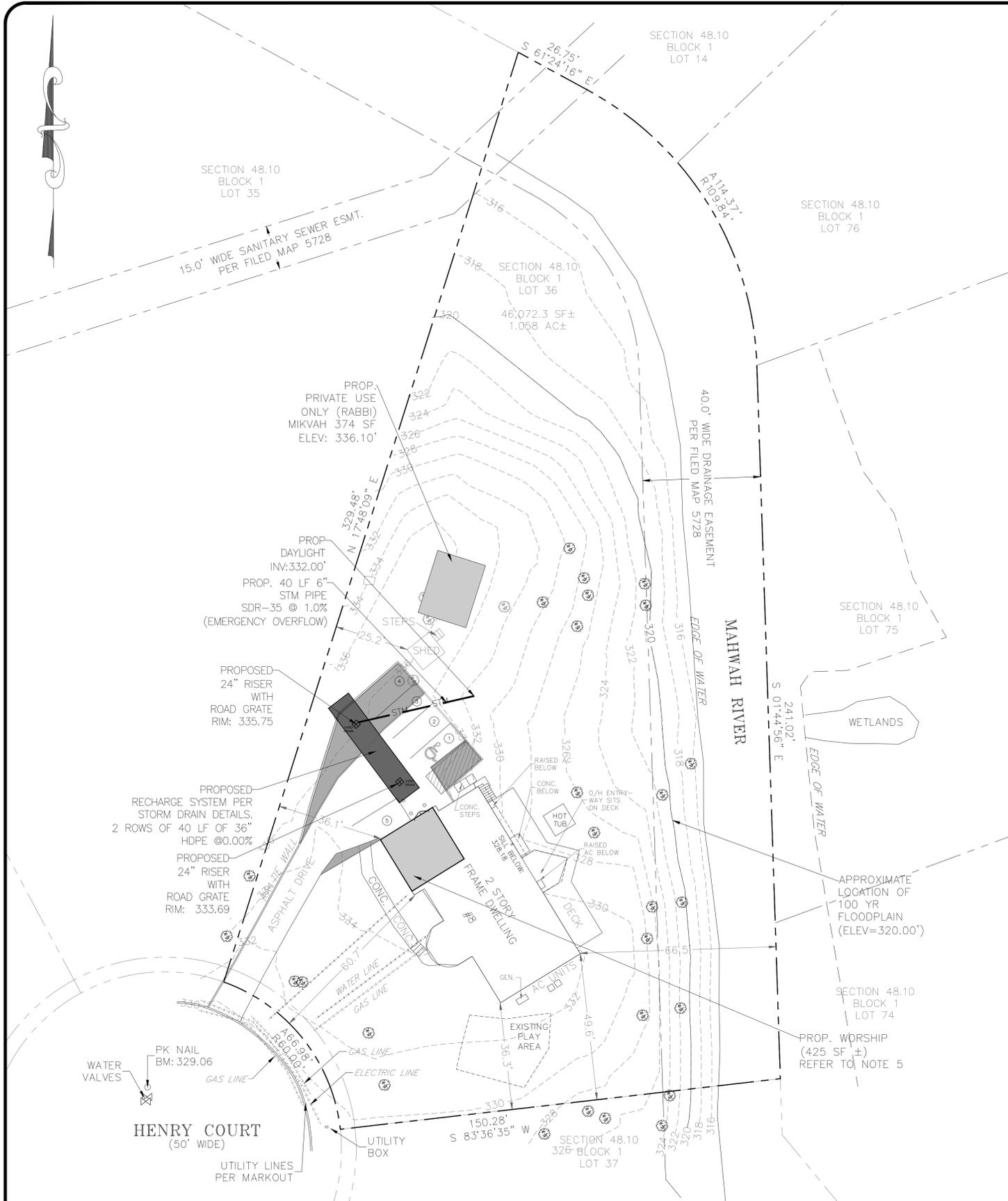
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 NY 845-666-0155
 NJ 732-523-2289
 E-MAIL INFO@TERRAVC.COM

DESIGN BY: YB DRAWN BY: JH CHECKED BY: KPM

GRADING PLAN

8 HENRY CT
 8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

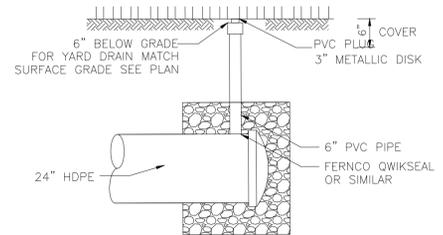
DRAWING NUMBER: **03** OF **10** SCALE: 1"=20' FILE NO.: 24135 DATE: 08/09/2024



RUNOFF CALCULATIONS:
 1,606.96 SF (ADDED IMPERVIOUS AREA)
 6.35 INCH/ 24 HOUR STORM
 1,606.96 SF X 6.35 IN X 1 FT/12 INCHES
 =850.35 CF REQUIRED
 RECHARGE TRENCH VOL = 23.78 CF/LF
 850.35/23.78 = 35.46 LF REQUIRED
 40 LF OF TRENCH PROPOSED X 23.78 CF/LF = 951.20 CF PROVIDED

RECHARGE NOTES:

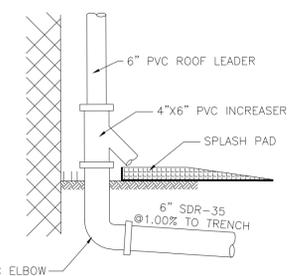
- RECHARGE TRENCHES ARE TO BE LOCATED A MINIMUM OF 8 FEET FROM THE FOUNDATION WITH AN INVERT 1 FOOT LOWER THAN THE BASEMENT FLOOR
- THE SYSTEM COLLECTS AND RECHARGES THE CLEAN RUNOFF FROM THE ROOF. IN THE EVENT THAT THE SYSTEM FAILS AND NO LONGER RECHARGES WATER, THE SYSTEM WILL OVERFLOW OUT OF THE WYE FITTING IN THE ROOF LEADER. RUNOFF WILL THEN FLOW ACROSS THE LAWN AREA WHICH IS STABILIZED WITH GRASS OR OTHER GROUND COVER. THERE SHOULD BE NO CATASTROPHIC FAILURE THAT WOULD CAUSE DAMAGING EROSION DURING NORMAL STORM EVENTS.
- IF EXISTING SOILS ARE K-3 OR UNDER, THEN SOILS SHOULD BE REPLACED WITH K-4 MATERIAL FOR 3' BELOW THE RECHARGE TRENCH (OR UNTIL THE WATER TABLE) AND 1' SURROUNDING THE RECHARGE TRENCH.



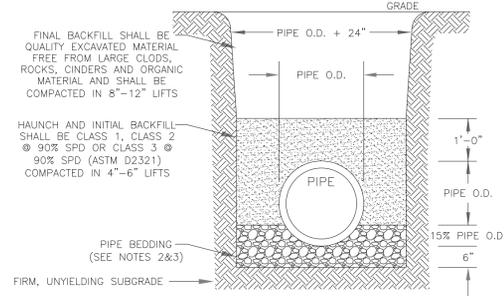
NOTES:

- CLEANOUT TO BE PROVIDED ON BOTH ENDS OF TRENCH.
- ROOF DRAIN TO BE CONNECTED TO PIPE WITH PREMANUFACTURED FITTING OR NEATLY SAW CUT WITHIN THE LIMITS OF THE STONE BEDDING.

N.T.S.
CLEANOUT DETAIL



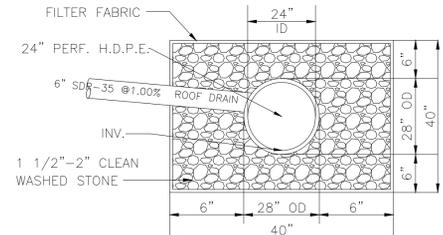
N.T.S.
ROOF LEADER DETAIL



NOTES:

- SOIL CLASSES AS DEFINED IN ASTM D 2487 AND D 2321.
- PIPE BEDDING FOR STORM SEWERS SHALL BE CLASS 1 EMBEDMENT MATERIAL OR CLASS 2 OR 3 EMBEDMENT MATERIAL COMPACTED TO 90% STANDARD PROCTOR DENSITY.
- PIPE BEDDING FOR WATERMAIN SHALL BE CLASS 1 EMBEDMENT MATERIAL OR SAND.
- PARTICLE SIZE IN THE EMBEDMENT ZONE SHALL NOT EXCEED 2"
- WHERE UNSUITABLE MATERIAL IS ENCOUNTERED IN TRENCH BOTTOM, UNDERCUT TO SUITABLE MATERIAL.
- PIPE BEDDING AND BACKFILL IS TO BE IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDES AND REQUIREMENTS.

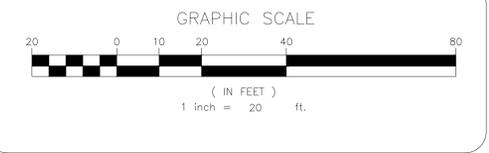
N.T.S.
PIPE BEDDING & BACKFILL DETAIL



NOTES:

- FILTER FABRIC TO BE MIRAFI 140A OR EQUAL
- STONE TO HAVE A MINIMUM VOID RATIO OF 0.40

N.T.S.
RECHARGE TRENCH DETAIL



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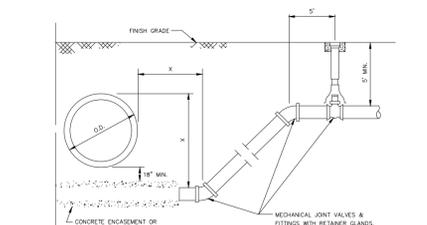
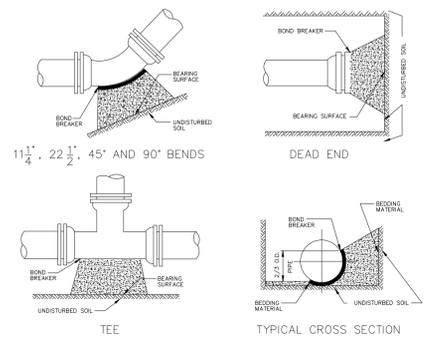
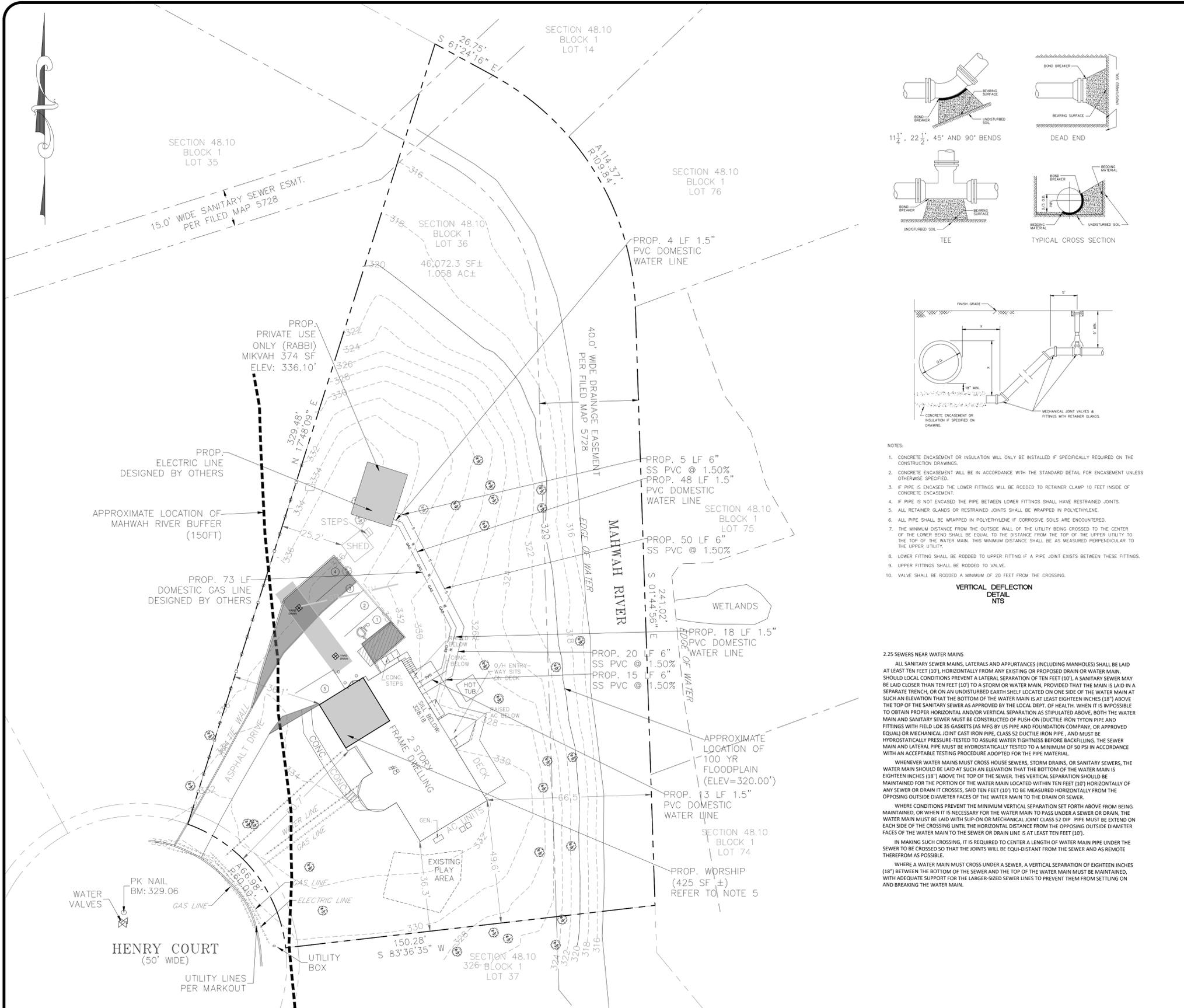
DRAINAGE PLAN

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

8 HENRY CT
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 ROCKLAND COUNTY, NEW YORK 10901
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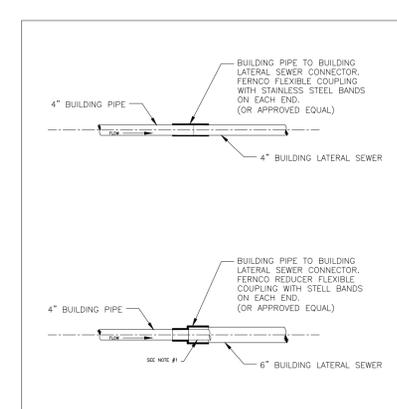
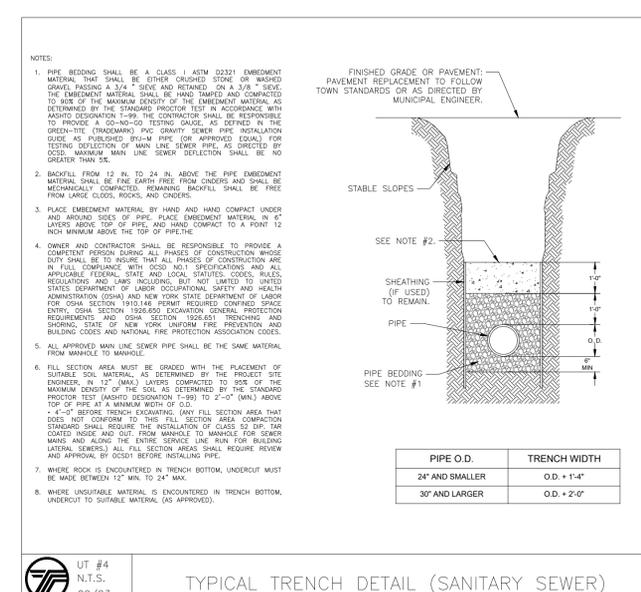
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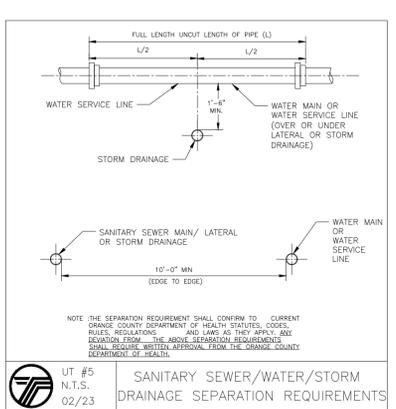


- NOTES:
1. CONCRETE ENCASMENT OR INSULATION WILL ONLY BE INSTALLED IF SPECIFICALLY REQUIRED ON THE CONSTRUCTION DRAWINGS.
 2. CONCRETE ENCASMENT WILL BE IN ACCORDANCE WITH THE STANDARD DETAIL FOR ENCASMENT UNLESS OTHERWISE SPECIFIED.
 3. IF PIPE IS ENCASED THE LOWER FITTINGS WILL BE RODDED TO RETAINER CLAMP 10 FEET INSIDE OF CONCRETE ENCASMENT.
 4. IF PIPE IS NOT ENCASED THE PIPE BETWEEN LOWER FITTINGS SHALL HAVE RESTRAINED JOINTS.
 5. ALL RETAINER CLAMPS OR RESTRAINED JOINTS SHALL BE WRAPPED IN POLYETHYLENE.
 6. ALL PIPE SHALL BE WRAPPED IN POLYETHYLENE IF CORROSIVE SOILS ARE ENCOUNTERED.
 7. THE MINIMUM DISTANCE FROM THE OUTSIDE WALL OF THE UTILITY BEING CROSSED TO THE CENTER OF THE LOWER BEND SHALL BE EQUAL TO THE DISTANCE FROM THE TOP OF THE UPPER UTILITY TO THE TOP OF THE WATER MAIN. THIS MINIMUM DISTANCE SHALL BE AS MEASURED PERPENDICULAR TO THE UPPER UTILITY.
 8. LOWER FITTING SHALL BE RODDED TO UPPER FITTING IF A PIPE JOINT EXISTS BETWEEN THESE FITTINGS.
 9. UPPER FITTINGS SHALL BE RODDED TO VALVE.
 10. VALVE SHALL BE RODDED A MINIMUM OF 20 FEET FROM THE CROSSING.

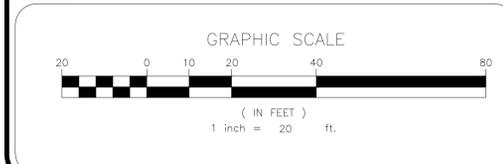
- 2.25 SEWERS NEAR WATER MAINS
- ALL SANITARY SEWER MAINS, LATERALS AND APPURTANCES (INCLUDING MANHOLES) SHALL BE LAID AT LEAST TEN FEET (10'), HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN OR WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET (10'), A SANITARY SEWER MAY BE LAID CLOSER THAN TEN FEET (10') TO A STORM OR WATER MAIN, PROVIDED THAT THE MAIN IS LAID IN A SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE WATER MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE TOP OF THE SANITARY SEWER AS APPROVED BY THE LOCAL DEPT. OF HEALTH. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OR PUSH-ON DUCTILE IRON TYPON PIPE AND FITTINGS WITH FIELD LOK 35 GASKETS (AS MFG BY US PIPE AND FOUNDATION COMPANY, OR APPROVED EQUAL) OR MECHANICAL JOINT CAST IRON PIPE, CLASS 52 DUCTILE IRON PIPE, AND MUST BE HYDROSTATICALLY PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING. THE SEWER MAIN AND LATERAL PIPE MUST BE HYDROSTATICALLY TESTED TO A MINIMUM OF 50 PSI IN ACCORDANCE WITH AN ACCEPTABLE TESTING PROCEDURE ADOPTED FOR THE PIPE MATERIAL.
- WHENEVER WATER MAINS MUST CROSS HOUSE SEWERS, STORM DRAINS, OR SANITARY SEWERS, THE WATER MAIN SHOULD BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS EIGHTEEN INCHES (18") ABOVE THE TOP OF THE SEWER. THIS VERTICAL SEPARATION SHOULD BE MAINTAINED FOR THE PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET (10') HORIZONTALLY OF ANY SEWER OR DRAIN IT CROSSES, SAID TEN FEET (10') TO BE MEASURED HORIZONTALLY FROM THE OPPOSING OUTSIDE DIAMETER FACES OF THE WATER MAIN TO THE DRAIN OR SEWER.
- WHERE CONDITIONS PREVENT THE MINIMUM VERTICAL SEPARATION SET FORTH ABOVE FROM BEING MAINTAINED, OR WHEN IT IS NECESSARY FOR THE WATER MAIN TO PASS UNDER A SEWER OR DRAIN, THE WATER MAIN MUST BE LAID WITH SLIP-ON OR MECHANICAL JOINT CLASS 52 DIP. PIPE MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE HORIZONTAL DISTANCE FROM THE OPPOSING OUTSIDE DIAMETER FACES OF THE WATER MAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET (10').
- IN MAKING SUCH CROSSING, IT IS REQUIRED TO CENTER A LENGTH OF WATER MAIN PIPE UNDER THE SEWER TO BE CROSSED SO THAT THE JOINTS WILL BE EQUIDISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE.
- WHERE A WATER MAIN MUST CROSS UNDER A SEWER, A VERTICAL SEPARATION OF EIGHTEEN INCHES (18") BETWEEN THE BOTTOM OF THE SEWER AND THE TOP OF THE WATER MAIN MUST BE MAINTAINED, WITH ADEQUATE SUPPORT FOR THE LARGER-SIZED SEWER LINES TO PREVENT THEM FROM SETTLING ON AND BREAKING THE WATER MAIN.



- NOTES:
1. 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING LATERAL SEWER.
 2. EACH 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DRILLINGS ONLY.
 3. EACH 6" BUILDING LATERAL SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE WATER MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE TOP OF THE SANITARY SEWER AS APPROVED BY THE LOCAL DEPT. OF HEALTH. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OR PUSH-ON DUCTILE IRON TYPON PIPE AND FITTINGS WITH FIELD LOK 35 GASKETS (AS MFG BY US PIPE AND FOUNDATION COMPANY, OR APPROVED EQUAL) OR MECHANICAL JOINT CAST IRON PIPE, CLASS 52 DUCTILE IRON PIPE, AND MUST BE HYDROSTATICALLY PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING. THE SEWER MAIN AND LATERAL PIPE MUST BE HYDROSTATICALLY TESTED TO A MINIMUM OF 50 PSI IN ACCORDANCE WITH AN ACCEPTABLE TESTING PROCEDURE ADOPTED FOR THE PIPE MATERIAL.
 4. BUILDING PIPE SHALL NOT EXCEED MORE THAN 10' FROM EXTERIOR OF BUILDING FOUNDATION.
 5. 6" BUILDING PIPE TO 6" BUILDING LATERAL SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 42 REDUCER COUPLING OR REDUCER STYLE 262 WYMAN COUPLING (OR APPROVED EQUAL).



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1. 4" BUILDING PIPE TO STUB APPROXIMATELY 6" INTO 6" BUILDING LATERAL SEWER.
 2. EACH 4" BUILDING LATERAL SEWER MAY BE APPROVED FOR CONSTRUCTION OF SINGLE (1) AND TWO (2) FAMILY DRILLINGS ONLY.
 3. EACH 6" BUILDING LATERAL SEWER SHALL BE REQUIRED FOR ALL COMMERCIAL USES AND SEPARATE TRENCH, OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE WATER MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE TOP OF THE SANITARY SEWER AS APPROVED BY THE LOCAL DEPT. OF HEALTH. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OR PUSH-ON DUCTILE IRON TYPON PIPE AND FITTINGS WITH FIELD LOK 35 GASKETS (AS MFG BY US PIPE AND FOUNDATION COMPANY, OR APPROVED EQUAL) OR MECHANICAL JOINT CAST IRON PIPE, CLASS 52 DUCTILE IRON PIPE, AND MUST BE HYDROSTATICALLY PRESSURE-TESTED TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING. THE SEWER MAIN AND LATERAL PIPE MUST BE HYDROSTATICALLY TESTED TO A MINIMUM OF 50 PSI IN ACCORDANCE WITH AN ACCEPTABLE TESTING PROCEDURE ADOPTED FOR THE PIPE MATERIAL.
 4. BUILDING PIPE SHALL NOT EXCEED MORE THAN 10' FROM EXTERIOR OF BUILDING FOUNDATION.
 5. 6" BUILDING PIPE TO 6" BUILDING LATERAL SEWER SHALL BE MADE BY INSTALLING A TYPE 1, STYLE 42 REDUCER COUPLING OR REDUCER STYLE 262 WYMAN COUPLING (OR APPROVED EQUAL).



NO.	REVISION	DATE	DR/CK
6	REVISED ZONING USE GROUP	7/04/2024	YB
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3	REVISED PER LETTERS AND CORP MEETING ON 05/01/2024	5/23/2024	JH
2	REVISED PER VILLAGE COMMENTS 04/18/2024	4/19/2024	JH
1	REVISED TO ADD MIKVAH	4/16/2024	YB

JOSIP MEDIC, PE

379 BROOKFIELD DR.
JACKSON, NJ 08527
LIC. 103757

NY 845-666-0155
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JOSIP MEDIC, P.E. LIC. 103757 DATE

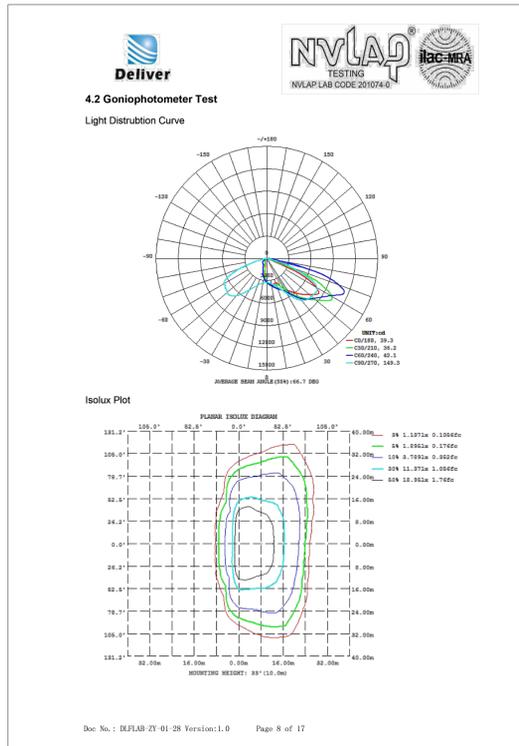
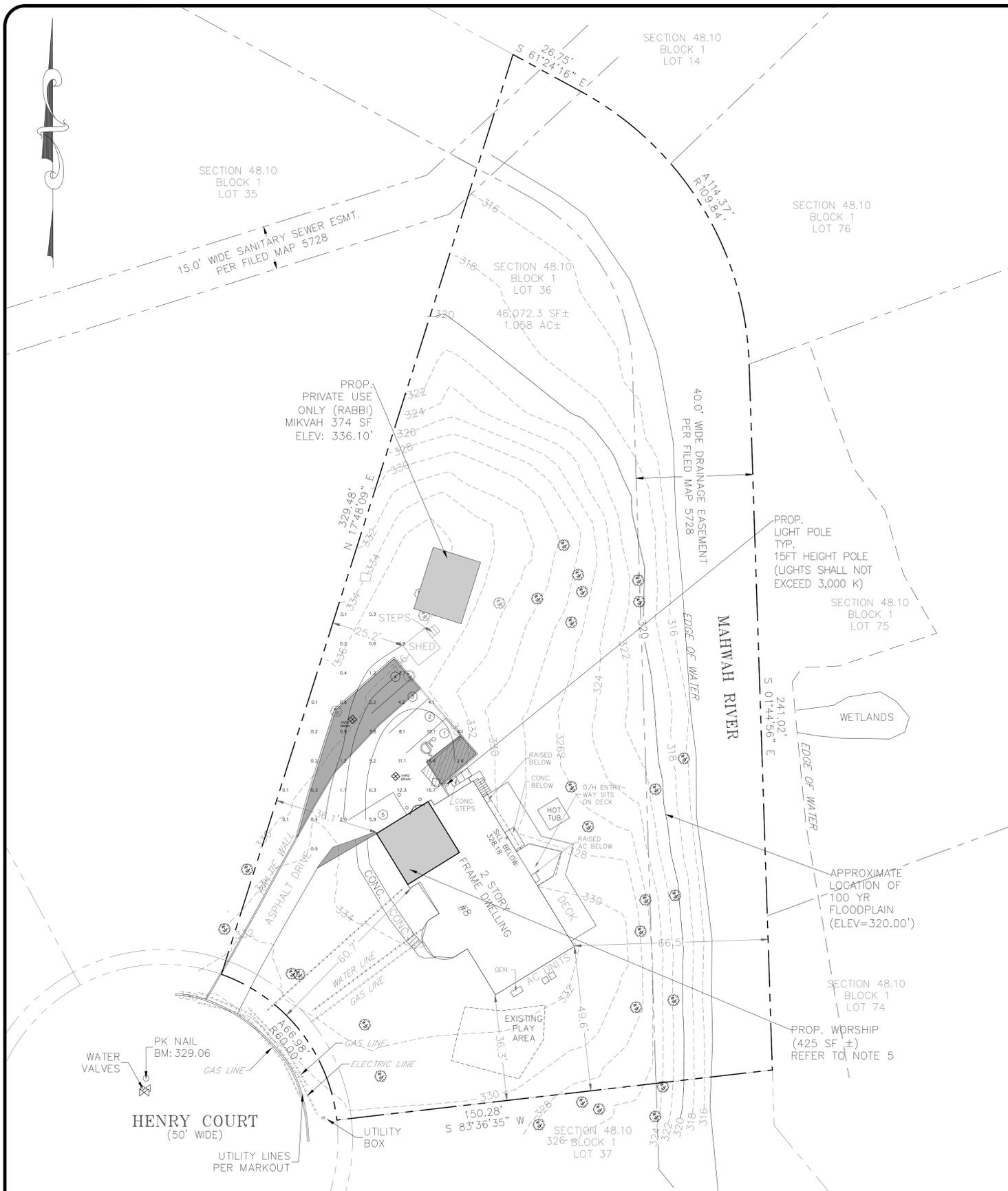
UTILITY PLAN

DESIGN BY: YB
DRAWN BY: JH
CHECKED BY: KPM

8 HENRY CT
8 HENRY COURT, VILLAGE OF MONTEBELLO
ROCKLAND COUNTY, NEW YORK 10901
SBL 48.10-1-36

DRAWING NUMBER: **05** OF **10**
SCALE: 1"=20'
FILE NO.: 24135
DATE: 08/09/2024





ALEDM3T **RAB**

Project: _____ **Type:** _____

Prepared By: _____ **Date:** _____

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.25A	Color	5000K (Cool)
208V	0.73A	Temp	Temp
240V	0.63A	Color	85 CRI
277V	0.55A	Accuracy	1%
Input Watts	76.91/67.14/48.2W	Lifespan	100,000 Hours
		Lumens	10620/12617/11919/103 lm
		Efficacy	139.5/137.7/129.5 lm/W

Technical Specifications

Field Adjustability
Field Adjustable (Wattage): Field adjustable light output in 3 discrete steps: Medium Housing: 150W/90W/78W (factory default 150W)

Compliance
UL Listed: Suitable for wet locations

IP Rating: Ingress protection rating of IP66 for dust and water

ESNA LM-79 & LM-80 Testing: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (ANSI) Products, ANSI C78.377-2017.

Trade Agreements Act Compliant: This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act.

DLC Listed: This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements. DLC Product Code: 5-13X76G

LED Characteristics
LEDs: Long life, high efficacy, discrete, surface mount LEDs

Color Consistency: 7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability: LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for (ANSI) Products, ANSI C78.377-2017.

Electrical
Driver: 78W Constant Current, Class 2, 120-277V, 50/60 Hz, 120V:0.65A, 208V:0.38A, 240V:0.33A, 277V:0.29A

90W: Constant Current, Class 2, 120-277V, 50/60 Hz, 120V:0.75A, 208V:0.46A, 240V:0.38A, 277V:0.33A

150W: Constant Current, Non-Class 2, 120-277V, 50/60 Hz, 120V:1.25A, 208V:0.73A, 240V:0.63A, 277V:0.55A

Dimming Driver: Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dimmable down to 10%.

THD: 3.59% at 120V, 8% at 277V

Power Factor: 100% at 120V, 95.7% at 277V

Surge Protection: Line to Line: 10kV
Line to Ground: 6kV

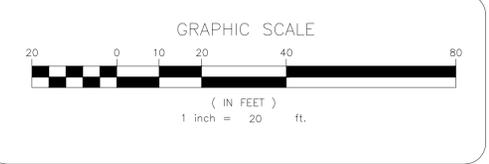
Performance
Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Warranty Equivalency: Equivalent to 60W Neutral Halide

Construction
IES Classification: The Type II distribution is meant to be located near the side of an area, projecting the light outward to fill the area. Ideal for roadway, general parking areas, lighting applications and where a large pool of light is required.

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
 Copyright © 2023 RAB Lighting All Rights Reserved Note: Specifications are subject to change at any time without notice

Doc. No.: DELFLAP-ZY-01-28 Version: 1.0 Page 8 of 17



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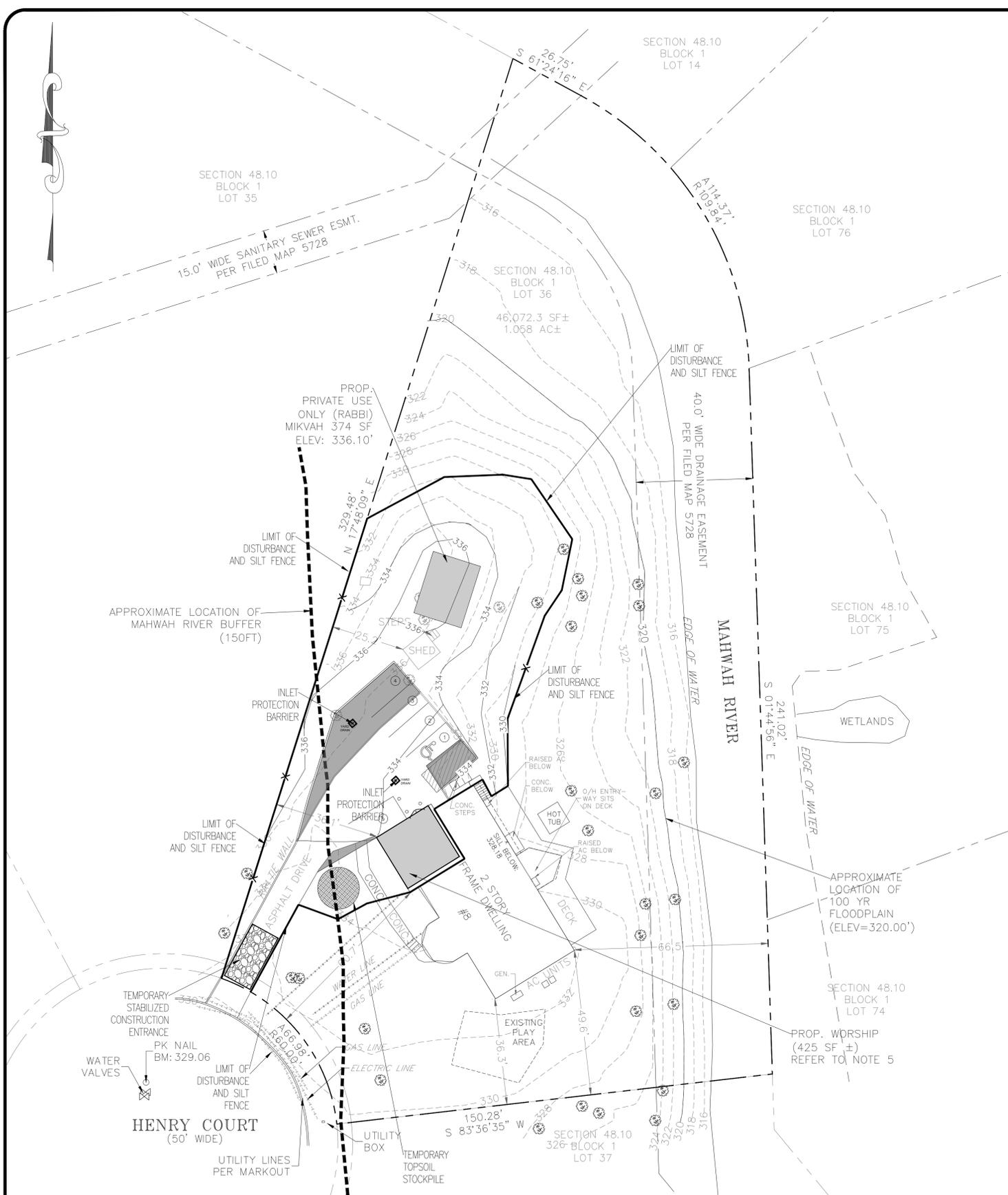
JOSIP MEDIC, P.E. LIC. 103757 DATE

LIGHTING PLAN

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

8 HENRY CT
 8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
06 OF 10	1"=20'	24135	08/09/2024



LEGEND:

- REINFORCED FILTER FABRIC BARRIER/SILT FENCE
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- INLET PROTECTION BARRIER

NOTES:

1. AREA OF DISTURBANCE: 10,191.68 SF.
2. ALL TREES AND STRUCTURES TO REMAIN UNLESS NOTED OTHERWISE.

SEQUENCE OF CONSTRUCTION NOTES

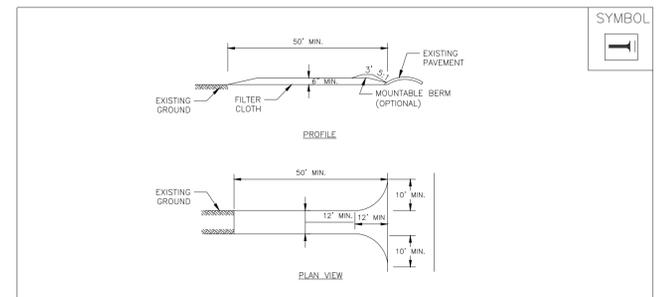
1. CONTRACTOR SHALL IMPLEMENT INLET PROTECTION DEVICES AND REINFORCED FILTER FABRIC BARRIER ALONG ROAD AND SIDE DITCHES AT LOCATION SHOWN ON THE TYPICAL STORM WATER POLLUTION PREVENTION (SWPPP) PLANS TO KEEP SILT AND /OR EXCAVATED MATERIALS FROM ENTERING INTO THE STORM WATER INLETS AND DITCHES EVENTUALLY POLLUTING THE RECEIVING STORM.
2. DURING THE EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATED MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALLS ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEEPED BACK INTO THE EXCAVATED AREA.
3. CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
4. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.
5. CONTRACTOR TO INSPECT AND MAINTAIN THE AREAS LISTED BELOW AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
 - DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
 - STRUCTURAL CONTROL MEASURES.
 - LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
6. CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND/ OR CULVERTS FOR UNOBSTRUCTED DRAINAGE AT ALL TIMES. WHERE SODDING IS DISTURBED BY EXCAVATION OR BACKFILLING OPERATIONS, SUCH AREAS SHALL BE REPLACED BY SEEDING OR SODDING. SLOPES 4:1 OR STEEPER SHALL BE REPLACED BY SODDING.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONCRETE WASHOUT LOCATION WILL BE DETERMINED ONCE CONSTRUCTION HAS BEGUN AND WILL BE PROPERLY NOTATED ON THE SITE MAP AT THAT TIME.
2. ALL REQUIRED NOTICES AND PERMITS MUST BE PLACED IN A HIGHLY VISIBLE LOCATION ONSITE BEFORE THE COMMENCEMENT OF CONSTRUCTION.
3. ALL EROSION AND SEDIMENTATION CONTROLS (ESC) MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO THE PROJECT SITE.
4. INSTALL SILT FENCE ACCORDINGLY FOR RUN-ON DIVERSION OR OFFSITE SEDIMENT CONTROL DEPENDING ON UP OR DOWN SLOPE, FACING POST SIDE ON THE DOWN GRADIENT SIDE.
5. ALL ESC USED ONSITE MUST BE REGULARLY MONITORED AND MAINTAINED AS NEEDED.
6. MUD AND OR DIRT TRACKED INTO THE ROADWAY MUST BE IMMEDIATELY REMOVED UPON DISCOVERY.
7. EXCESS MATERIALS THAT WILL BE TRANSPORTED TO AN OFFSITE LOCATION MUST HAVE THAT LOCATION CLEARED BY COUNTY INSPECTOR.
8. LOOSE TRASH AND DEBRIS MUST BE DISPOSED OF PROPERLY ONSTF.
9. CONTRACTOR SHALL MAINTAIN AND UTILISE DUST CONTROL FOR THE DURATION OF THE PROJECT.
10. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING ONTO THE PUBLIC ROADWAY ON AN ONGOING/REGULAR BASIS.
11. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY UPON INLET INSTALLATION.
12. INITIATE TEMPORARY STABILIZATION WHEN CONSTRUCTION CEASES IN A DISTURBED AREA FOR 14 DAY.
13. INITIATE PERMANENT STABILIZATION IMMEDIATELY ONCE WORK HAS CEASED AND FINAL GRADE HAS BEEN ACHIEVED. ALL DISTURBED/BARE AREAS WILL REQUIRE PERMANENT STABILIZATION BEFORE FINAL ACCEPTANCE CAN BE ACHIEVED. AVOID DISTURBING AREAS OF THE PROJECT THAT ARE NOT NECESSARY FOR CONSTRUCTION.
14. TEMPORARY ESC'S SHALL REMAIN IN PLACE IN ALL DISTURBED AREAS UNTIL ADEQUATE STABILIZATION HAS BEEN ACHIEVED.
15. CONTRACTOR MUST REMOVE SEDIMENT FROM ALL STORM SEWER INLET BOXES, LINES, PIPES, AND CULVERTS BEFORE CONDITIONAL/FINAL ACCEPTANCE CAN OBTAINED.

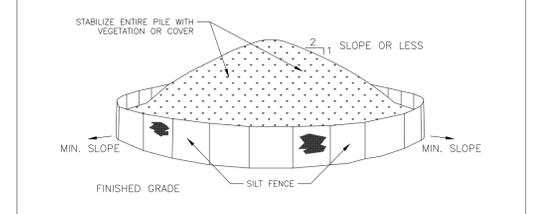
STABILIZATION AND RESTORATION NOTES

1. INITIATE PERMANENT STABILIZATION IMMEDIATELY ONCE WORK HAS CEASED AND FINAL GRADE HAS BEEN ACHIEVED IN ANY GIVEN AREA.
2. THE FINAL STABILIZATION/RE-VEGETATION EFFORTS SHALL BE IN ACCORDANCE WITH THE APPROVED RESTORATION PLAN DETAILS AND SPECIFICATIONS.
3. ALL 3:1 SLOPES OR STEEPER REQUIRE SOIL RETENTION BLANKET (SRB).
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE WATERING/IRRIGATION TO ACHIEVE THE PERMANENT STABILIZATION REQUIREMENTS IN ALL DISTURBED/RE-VEGETATED AREAS BEFORE FINAL ACCEPTANCE FOR THIS PROJECT CAN BE OBTAINED.
5. ALL DISTURBED/BARE AREAS WILL REQUIRE PERMANENT STABILIZATION BEFORE FINAL ACCEPTANCE CAN BE ACHIEVED. AVOID DISTURBING AREAS OF THE PROJECT THAT ARE NOT NECESSARY FOR CONSTRUCTION.
6. ANY DISTURBED AREA(S) NOT INDICATED TO BE RESTORED ON THE RESTORATION PLAN REQUIRES THE SAME EFFORTS AS THOSE INDICATED.
7. ALL DISTURBED AREAS MUST MEET THE REQUIREMENT FOR PERMANENT STABILIZATION.
8. THE NOTICE OF TERMINATION (NOT) FOR THIS PROJECT SHALL NOT BE SUBMITTED UNTIL THE TRAVIS COUNTY ENVIRONMENTAL INSPECTOR APPROVES CLEARANCE.



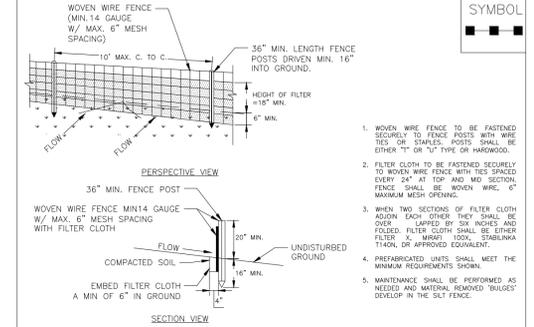
1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE LAYED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEGMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CD# 8 N.T.S. 03/24 **STABILIZED CONSTRUCTION ACCESS**



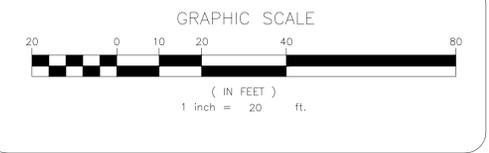
- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH REINFORCED SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

SE# 1 N.T.S. 03/24 **SOIL STOCKPILE DETAIL**



1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE EITHER "T" OR "U" TYPE OR HAWKWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER CLOTH, WOVEN WIRE, OR SUBSTITUTED WITH APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REINFORCED TRUCKS DEVELOP IN THE SILT FENCE.

CD#10 N.T.S. 03/06 **REINFORCED SILT FENCE**



NO.	REVISION	DATE	DR/CK
6	REVISED ZONING USE GROUP	7/04/2024	YB
5	GENERAL REVISIONS	7/01/2024	YB
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JOSIP MEDIC, PE
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 NY 845-666-0155
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 E-MAIL INFO@TERRANVC.COM

JOSIP MEDIC, P.E. LIC. 103357 DATE

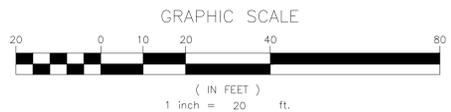
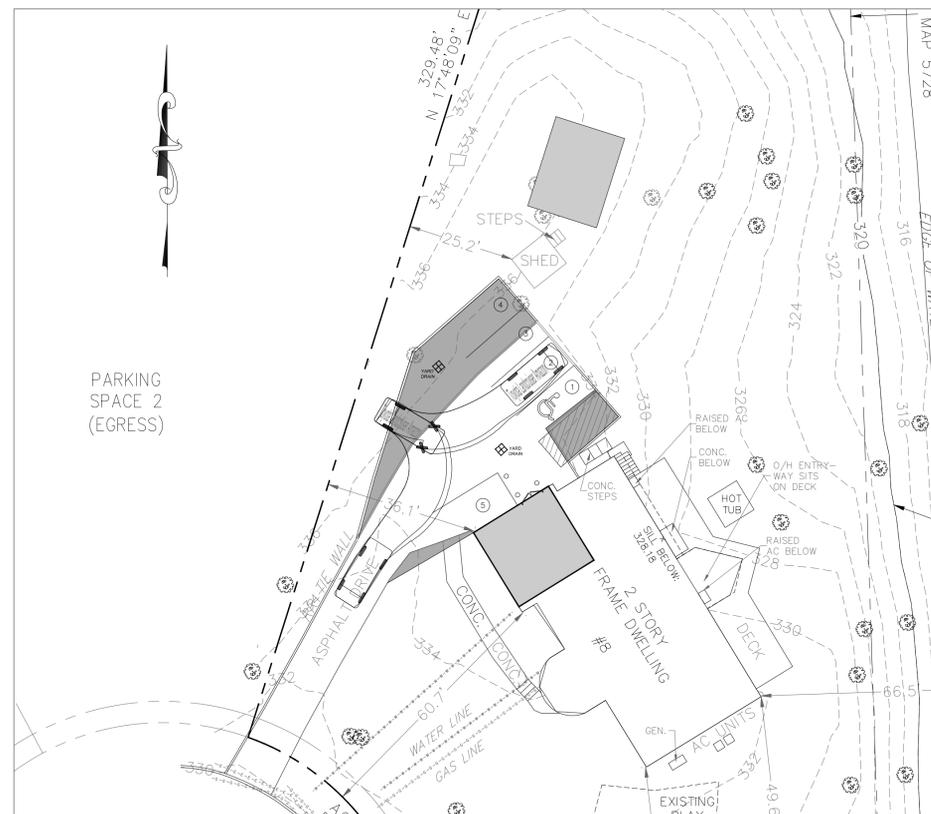
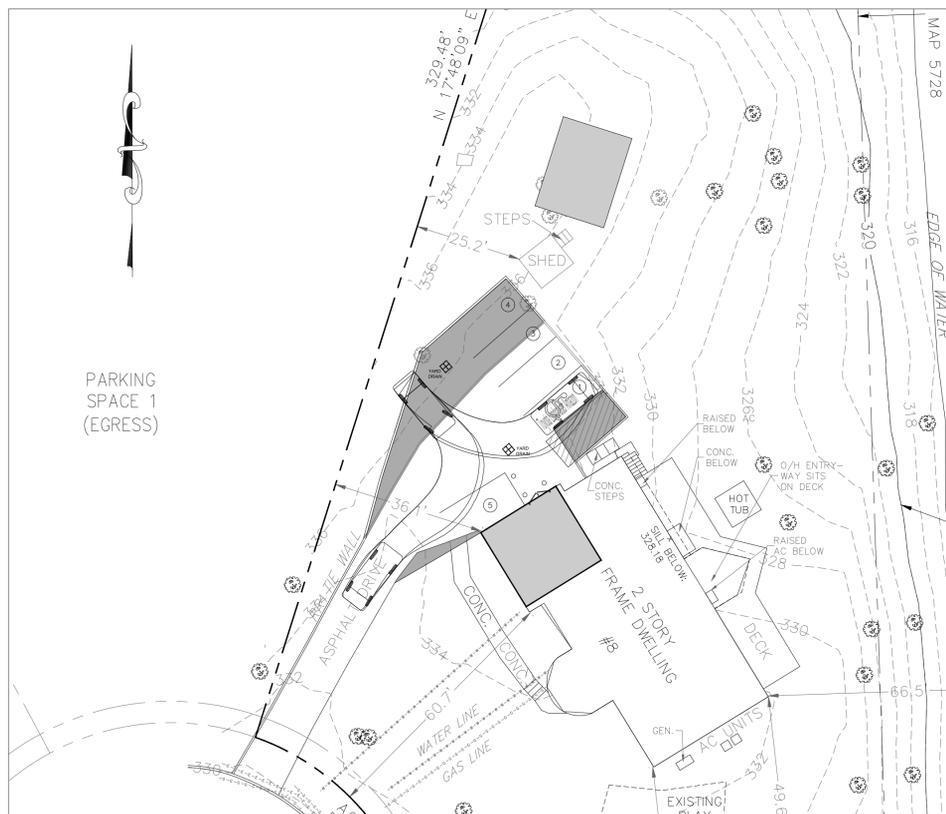
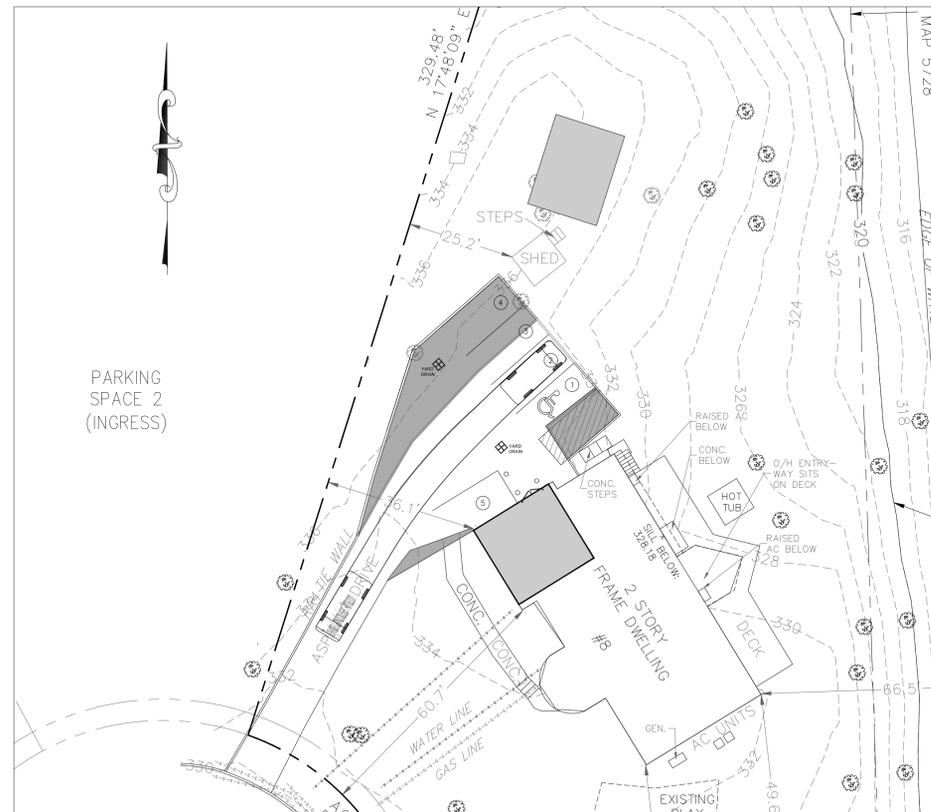
SOIL EROSION AND SEDIMENT CONTROL PLAN

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

8 HENRY CT
 8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
07 OF 10	1"=20'	24135	08/09/2024





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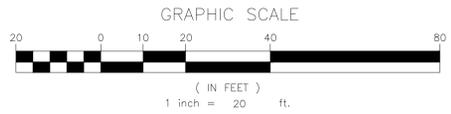
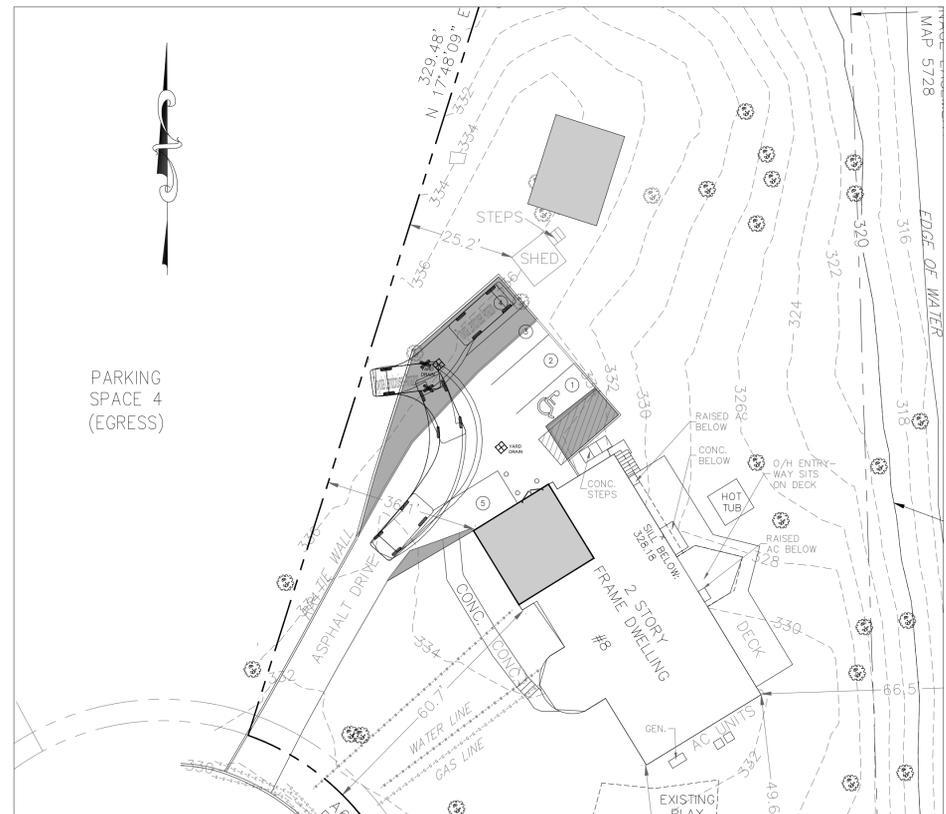
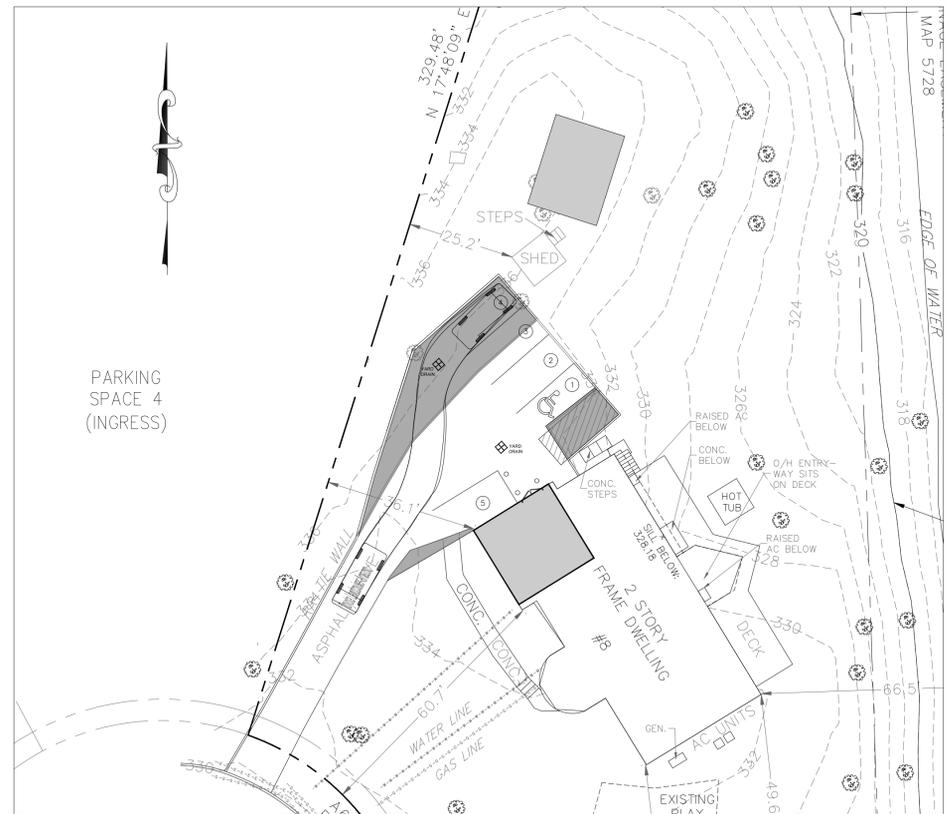
JOSIP MEDIC, P.E. LIC. 103757 DATE

TRAFFIC PLAN 1

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

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8 HENRY COURT, VILLAGE OF MONTEBELLO
ROCKLAND COUNTY, NEW YORK 10901
SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
08 OF 10	1"=20'	24135	08/09/2024



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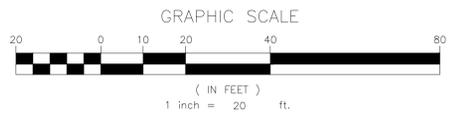
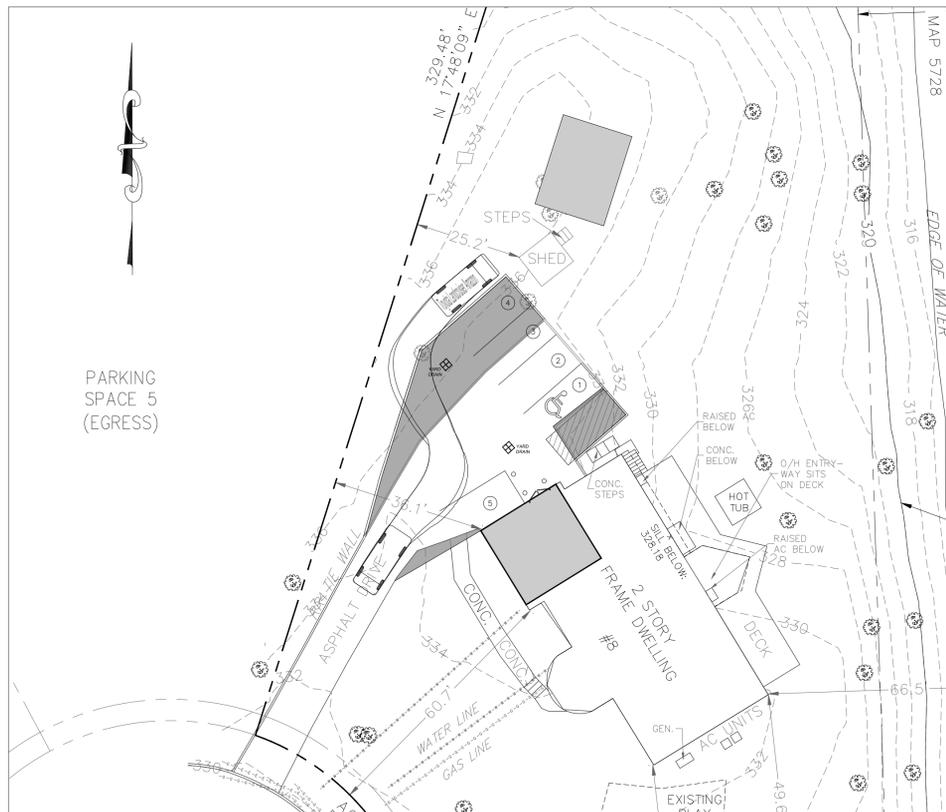
TRAFFIC PLAN 2

DESIGN BY: YB
 DRAWN BY: JH
 CHECKED BY: KPM

8 HENRY CT

8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

DRAWING NUMBER: **09** OF **10**
 SCALE: 1"=20'
 FILE NO.: 24135
 DATE: 08/09/2024



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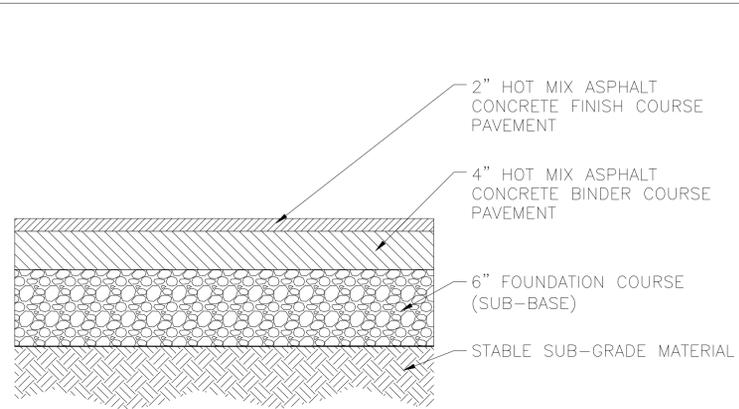
TRAFFIC PLAN 3

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

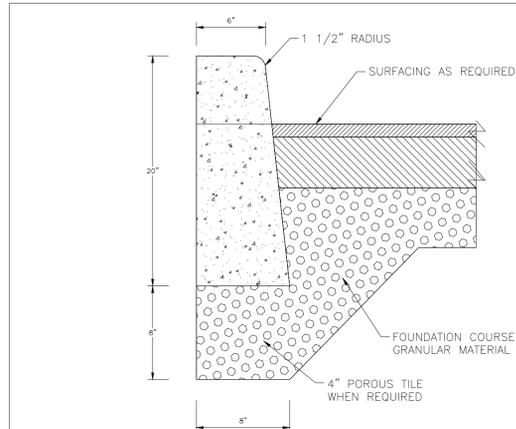
8 HENRY CT

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10 OF 10	1"=20'	24135	08/09/2024

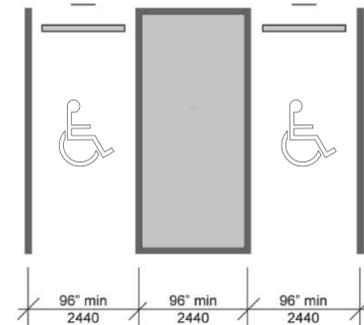


ASPHALTIC CONCRETE PAVEMENT DETAIL



CONCRETE CURB DETAIL

NOTES:
 1. CURB SHALL BE CAST IN PLACE. EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT THEN (10) FOOT INTERVALS. CONCRETE TO BE 1:2:3 MIX DESIGN, AIR ENTRAINED WITH DUREX OR EQUAL.
 2. CONCRETE TO TEST 4000 PSI AT 28 DAYS



ADA PARKING SPACE LAYOUT DETAIL



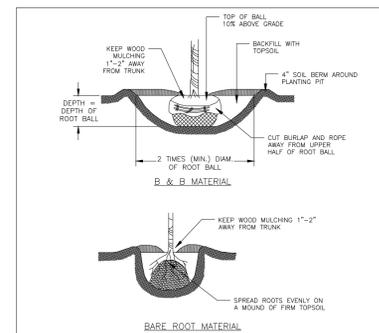
Goat's Beard (Aruncus dioica) - 15

Showy clusters of creamy-white flowers in mid to late summer are attractive to butterflies, bees, and hummingbirds. Good for rain gardens.

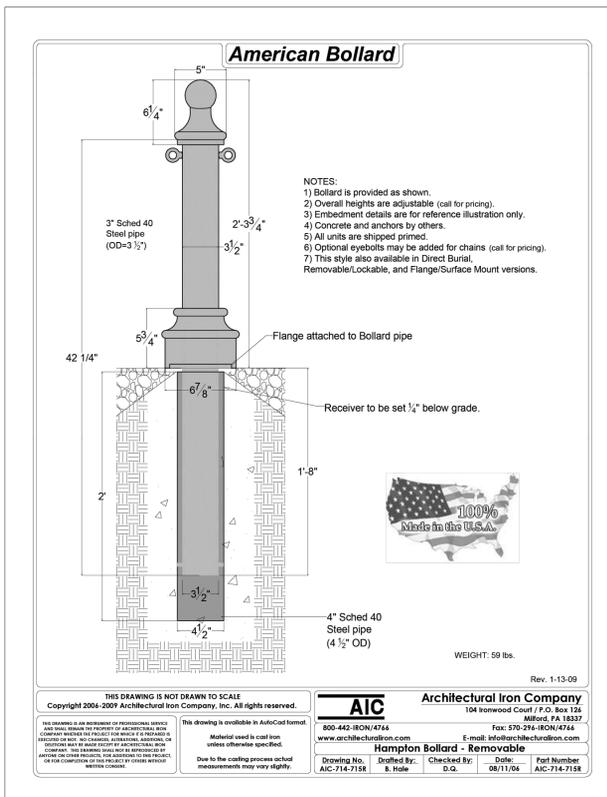
Light	Soil	Height/Spread (ft)	Zone
Full sun to part shade	Moist-wet	6'4'	3-8

PLANTING SIZE	CONTAINER
6"-12"	#2

LANDSCAPING SHRUB DETAIL
 TOTAL NUMBER OF SHRUBS (64)



TREE AND SHRUB PLANTING DETAIL



American Bollard

NOTES:
 1) Bollard is provided as shown.
 2) Overall heights are adjustable (call for pricing).
 3) Embedment details are for reference illustration only.
 4) Concrete and anchors by others.
 5) All units are shipped primed.
 6) Optional eyebolts may be added for chains (call for pricing).
 7) This style also available in Direct Burial, Removable/Lockable, and Flange/Surface Mount versions.



WEIGHT: 59 lbs.

Rev. 1-13-09

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Hampton Bollard - Removable
 Drawing No. AIC-714-219K Drafted By: B. Hole Checked By: D.G. Date: 08/11/06 Part Number AIC-714-219K

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VINYL FENCE WHOLESALER
Technical Specifications - New York Privacy Fence
 8' Tall (8' Wide or 6' Wide Sections)

POST SIZE 5" x 5" x 144"
 8' O.C. Section (15 6" Pickets)
 6' O.C. Section (11 6" Pickets)
 1.75" x 3.5" x 95.75"
 1.5" x 5.5" x 95.75"
 T&G INTERLOCKING PICKETS
 1.5" x 5.5" x 95.75"
 U Channels
 1.5" x 5.5" x 95.75"
 ALUMINUM CHANNEL IN BOTTOM & MID RAIL
 POSTS GO INTO GROUND 48"
 Available Colors: White, Tan, Clay or Color Combo
 Wind Certified 130 MPH - Transferable Lifetime Warranty - Fast Shipping!

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NO.	REVISION	DATE	DR/CK
6	REVISED ZONING USE GROUP	7/04/2024	YB
5	GENERAL REVISIONS	7/01/2024	YB
4	REVISED FOR ZONING BOARD APPLICATION	5/29/2024	JH
3	REVISED PER LETTERS AND GORC MEETING ON 05/01/2024	5/13/2024	JH
2	REVISED PER VILLAGE COMMENTS 04/18/2024	4/19/2024	JH
1	REVISED TO ADD MIKVAH	4/16/2024	YB

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 E-MAIL INFO@TERRANVC.COM

JOSIP MEDIC, P.E. LIC. 103757 DATE

DETAILS SHEET

DESIGN BY:	DRAWN BY:	CHECKED BY:
YB	JH	KPM

8 HENRY CT
 8 HENRY COURT, VILLAGE OF MONTEBELLO
 ROCKLAND COUNTY, NEW YORK 10901
 SBL 48.10-1-36

DRAWING NUMBER:	SCALE:	FILE NO.:	DATE:
10 OF 10	1"=20'	24135	08/09/2024